

Project: Alterations & Additions to Existing Inn & Restaurant  
4 Mowamba Place, Thredbo NSW  
Lot 817 DP 1119757

DATE: DECEMBER 2019  
PREPARED FOR: BERNTI'S MOUNTAIN INN C/- LLOYD WILLIAMS  
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# Contents

	Page
<b>The Proposal</b>	<b>3</b>
Level 1 - alterations & additions	
Level 2 - alterations & additions	
Level 3 - alterations & additions	
Roof Plan - alterations & additions	
<b>Locality Plan</b>	<b>6</b>
<b>Site Analysis</b>	<b>8</b>
<b>Site Contours</b>	<b>10</b>
<b>Site Photos</b>	<b>11</b>
<b>3D Perspectives</b>	<b>14</b>
<b>Proposed Signage</b>	<b>14</b>
<b>Colour Schedule</b>	<b>15</b>
<b>Elevations</b>	<b>16</b>
▪ North elevation	
▪ West Elevation	
▪ East Elevation	
▪ South Elevation	
<b>The Built Form and Character of Adjoining Development</b>	<b>18</b>
<b>Site Levels, New Building and Adjacent Properties</b>	<b>19</b>
<b>Section 4.15 Environmental Planning &amp; Assessment –</b>	
<b>Matters for Consideration – general</b>	<b>21</b>
▪ Section 4.14 (1)(a)(i)- Environmental Planning Instruments	
▪ Section 4.14 (1)(a)(ii)- Draft Environmental Planning Instruments	
▪ Section 4.14 (1)(a)(iii)- Development Control Plans	
▪ Section 4.14 (1)(a)(iiia)- Planning Agreements	
▪ Section 4.14 (1)(a)(iv)-Regulations	
▪ Section 4.14 (1)(b)- Likely Impacts	
▪ Section 4.14 (1)(c)- Suitability of the site	
▪ Section 4.14 (1)(d)- Submissions	
▪ Section 4.14 (1)(e)- Public Interest	
<b>Other Matters for Consideration</b>	<b>23</b>
<b>State Environmental Planning Policy</b>	
<b>(Kosciuszko National Park – Alpine Resorts) 2007 Clause 14</b>	<b>27</b>
<b>State Environmental Planning Policy</b>	
<b>(Kosciuszko National Park – Alpine Resorts) 2007 Clause 15</b>	<b>30</b>
<b>Environmental Site Management Plan (ESMP)</b>	<b>33</b>

# The Proposal

The project for which this Statement applies is for alterations and additions to existing motel complex known as Bernti's Mountain Inn at 4 Mowamba Place, Thredbo Village, within the Kosciusko National Park, NSW. The site is legally described as lot 817 DP1119757 and is located within the village area of Thredbo.

The proposal aims to extend the commercial complex as the current configuration offers limited space within the food and beverage areas of the building. The extension is deemed to be of positive influence on both the existing building also Thredbo by offering more entertainment options within the tourism service industry.

The development is proposed to be constructed over three (3) levels that will be extended out from the existing structure towards Mowamba Place. The lower level includes formalisation of the existing carparking area, inclusion of storage areas (keg room, store rooms and bin enclosure), garage and new entry area incorporating a lift. On Level 2, the existing bar area will be extended to incorporate a multipurpose room, bar and brasserie that opens onto a subdeck that wraps around the north and east elevations of the new area. A kitchen and servery will complement the multipurpose room. Additionally, on Level 2 is new bathroom facilities, access to the lift and an outdoor area of private open space. On Level 3, the restaurant will be extended and will open onto a large patio covered sundeck that will have views over the ski fields. The lift provides access to level 3. The new roof will match the existing with solar panels providing an energy sensitive approach.

This Statement of Environmental Effects will accompany a Development Application to be lodged with the Department of Planning & Environment (DPE) in accordance with the State Environmental Planning Policy (Kosciusko National Park—Alpine Resorts) 2007, under Part 4 of the Environmental Planning and Assessment Act 1979 (EP&A Act).



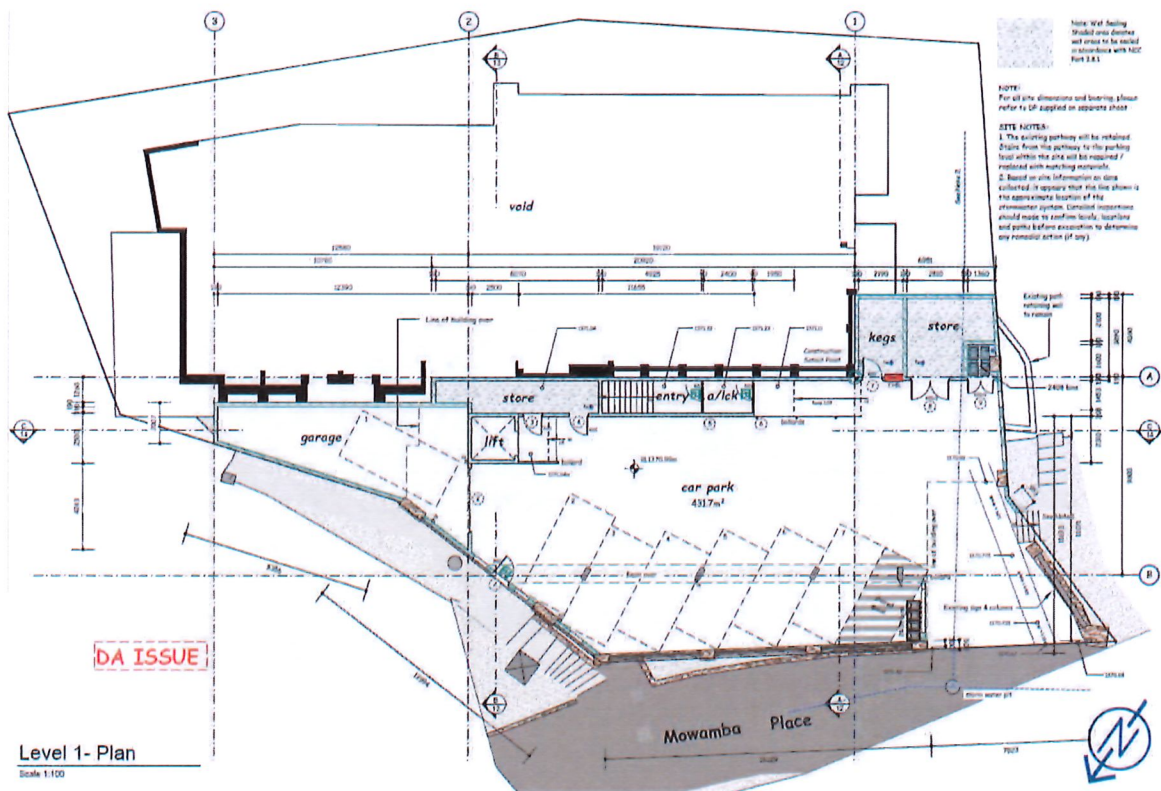
Figure 1: Existing Building December, 2019

## PROPOSED ALTERATIONS & ADDITIONS

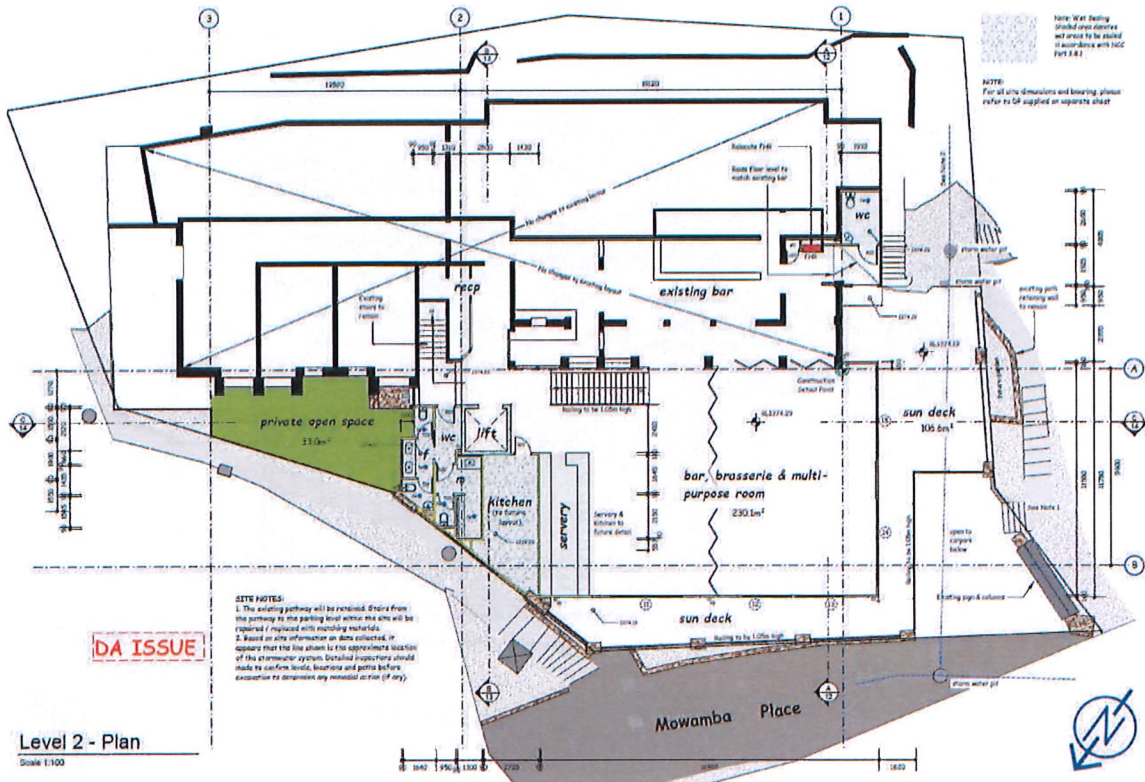
Following is a list of the proposed alterations and additions to Bernti's Mountain Inn:

1. Formalise and seal carparking area (Level 1)
2. Addition of storage areas including keg room, store rooms and bin enclosure (Level 1)
3. Addition of garage (Level 1)
4. Addition of new bar, brasserie & multi-purpose room (Level 2)
5. Addition of new kitchen, servery & bathroom facilities including disabled toilet (Level 2)
6. Addition of private open space and sun deck (Level 2)
7. Extension to existing restaurant
8. Addition of new sun deck with patio cover
9. New roof to match existing with installation of solar panels
10. Addition of a lift from level 1 to level 3

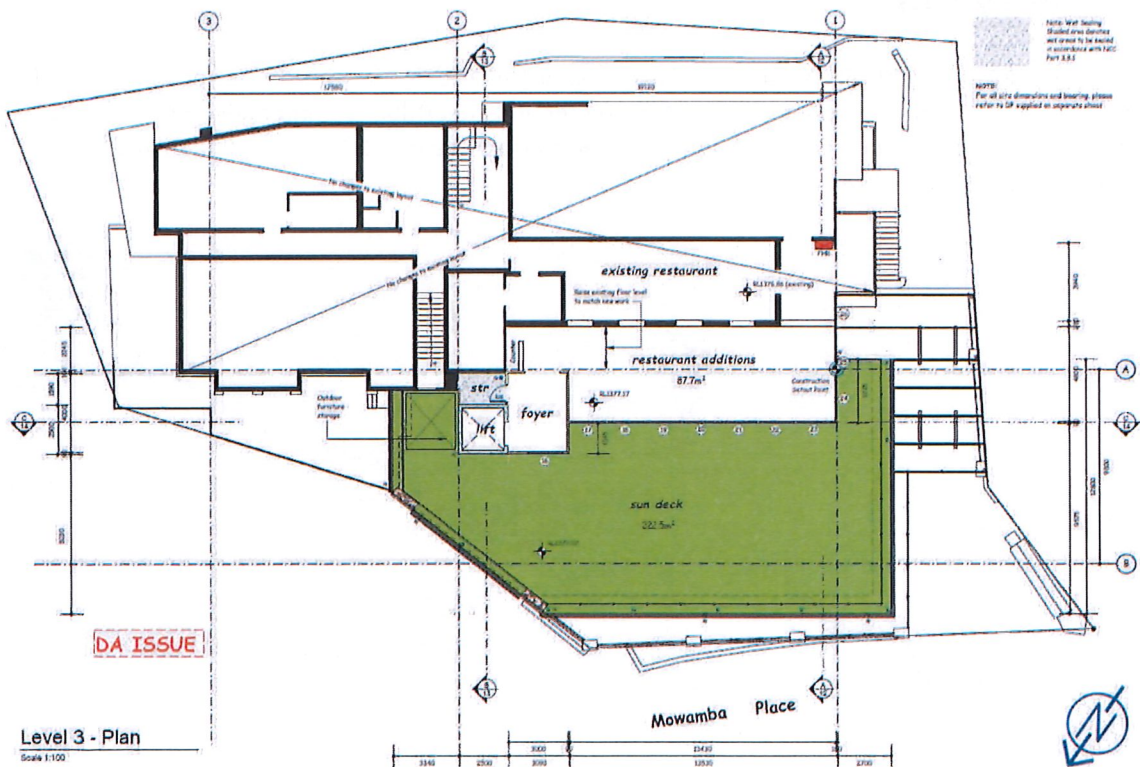
## LEVEL 1 – ALTERATIONS & ADDITIONS



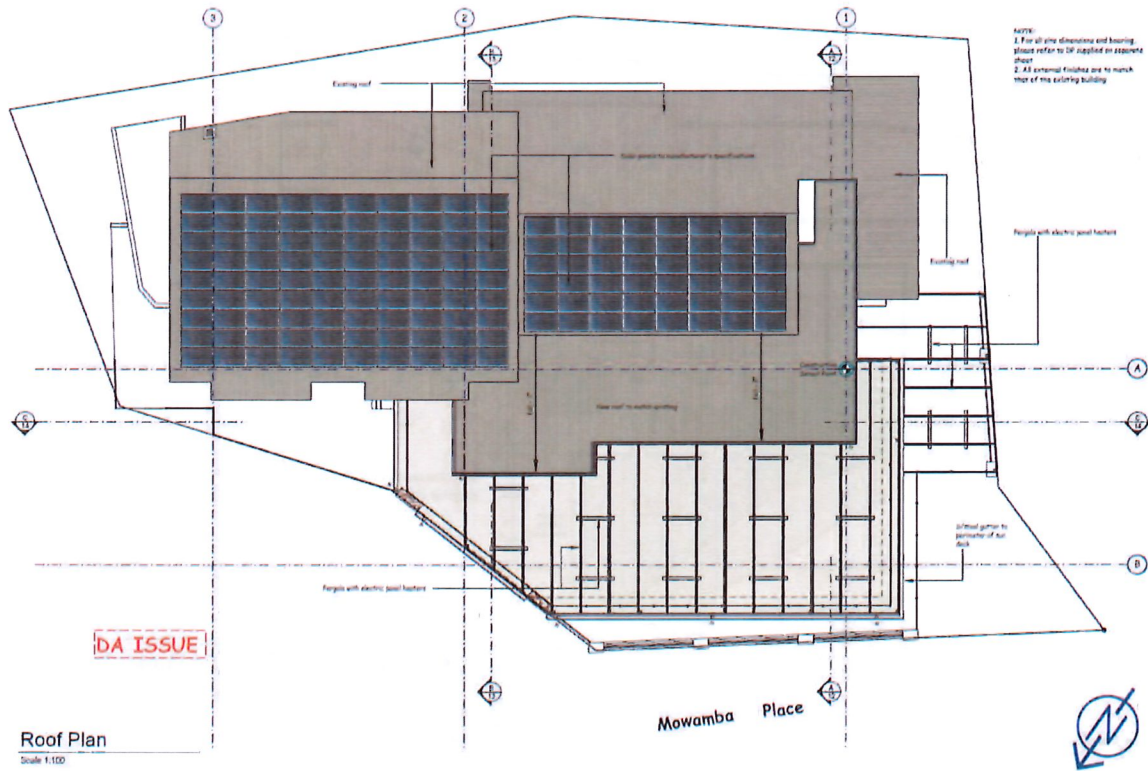
## LEVEL 2 – ALTERATIONS & ADDITIONS



## LEVEL 3 – ALTERATIONS & ADDITIONS



## ROOF – ALTERATIONS & ADDITIONS



## Locality Plan

The site is located centrally within the village area of Thredbo, NSW. Thredbo is known as one of New South Wales most popular ski resorts in winter and an outdoor summer adventure area in summer. The town is located approximately 35.8 km from the nearest town of Jindabyne, NSW, 2627 along the Alpine Way.

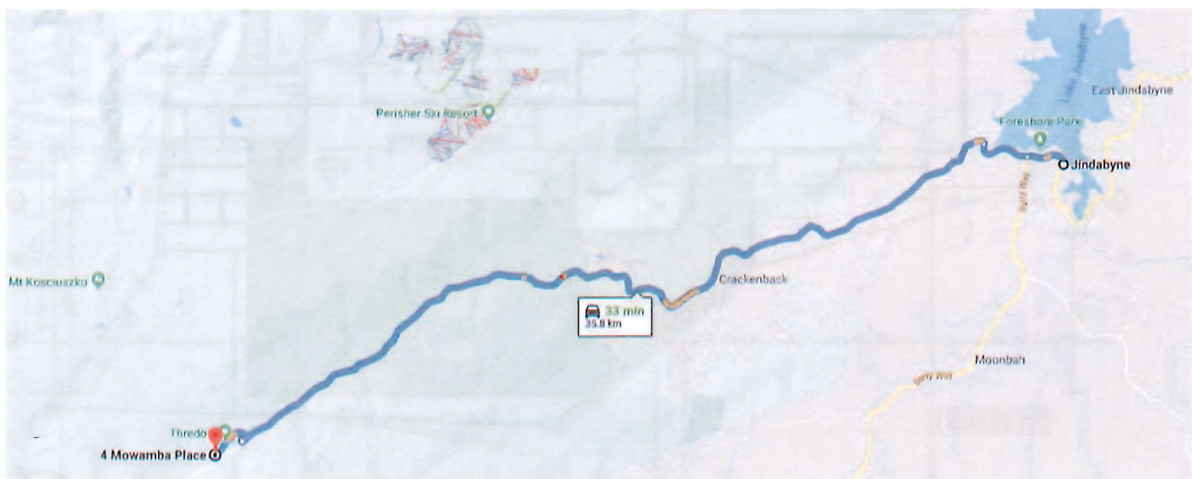


Figure 2: Location map. Source Google Maps.







The existing surrounding buildings collectively demonstrate a similar siting pattern of orientation (facing the ski fields) with the development fitting within the property boundaries and landfall contours. The land falls from the south to north- west towards Thredbo River.

The proposed additions are located on the north- northwest face of the existing building. The orientation will ensure that maximum solar gain will be achieved.

The site is predominantly covered in existing development with the proposed additions located over previously disturbed areas. The site does not have any significant native vegetation coverage.

The north- northwest aspect ensures that the additions will achieve the best views of the surrounding landscape, ski fields and alpine environment without impacting on the privacy of adjoining accommodation providers.

The new building will be an improvement on the existing by providing a larger area of commercial space to the public. The proposal carefully utilises footprint that is currently disturbed and being utilised as carparking. The design maximises the available space on the site for redevelopment without creating any negative impacts in way of overshadowing, over looking or overdevelopment of the site.

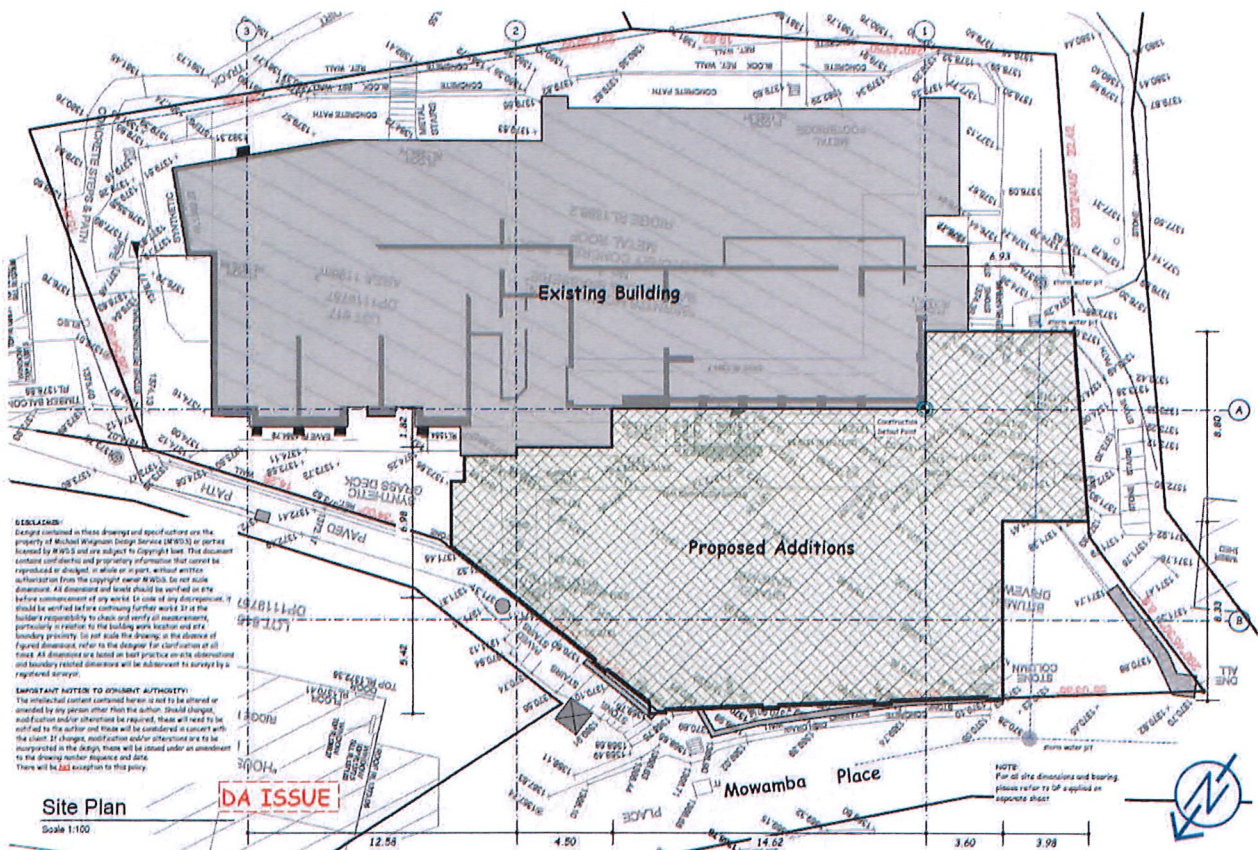


Figure 7: Existing building and proposed addition footprint

# Site Contours

Landfall is generally consistent across the site from the south to the north however the majority of the site has been altered for the existing building. The site falls from RL1382.31m to 1370.99m (total height difference of 11.32m).

The new building fits within the existing landform with some additional minor excavation proposed for the ground level carparking.

Access to the site will be maintained in the existing location.

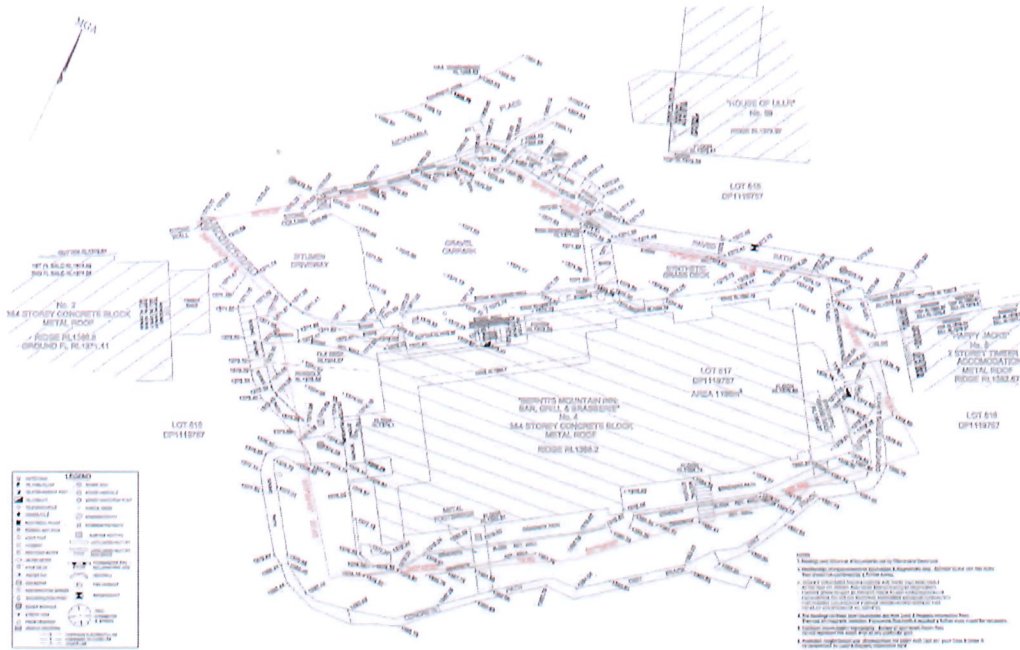


Figure 8: Survey Plan Source: Map Survey

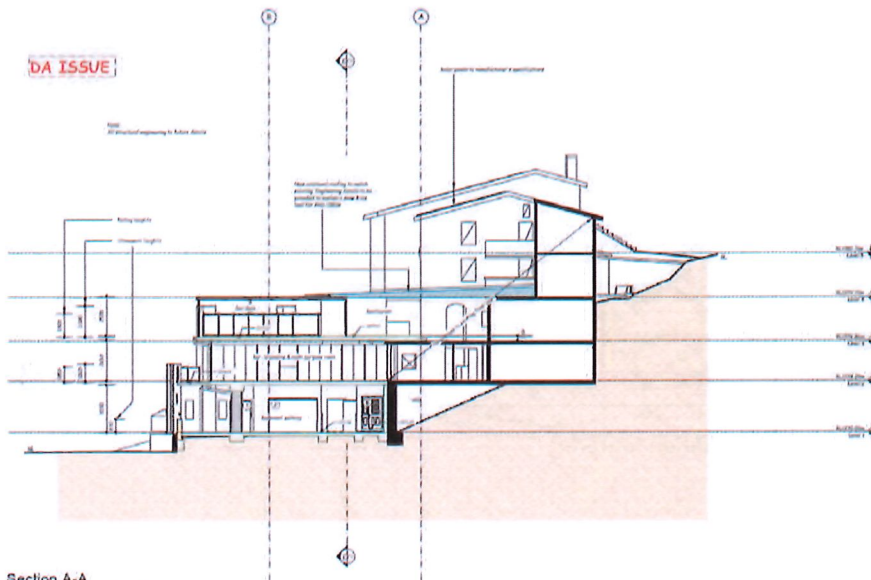


Figure 9: Site sectional diagram. Source Architectural Plans by Michael Wiegman Design Service

## Site Photos



Figure 10: Image of Bernti's Mountain Inn, December 2019



Figure 11: Current gravel car parking arrangement



Figure 12: View of Bernti's bar looking south towards existing development upslope of the building



Figure 13:View from corner of exiting building looking west down Mowamba Place



Figure 14:Existing access off Mowamba Place and car parking at the front of the existing building



Figure 15:Image of adjoining development



Figure 16: Image from the proposed level 1. Image displays how upper levels will have an outlook over the roof of the Alpine Apartments therefore eliminating any privacy issues.

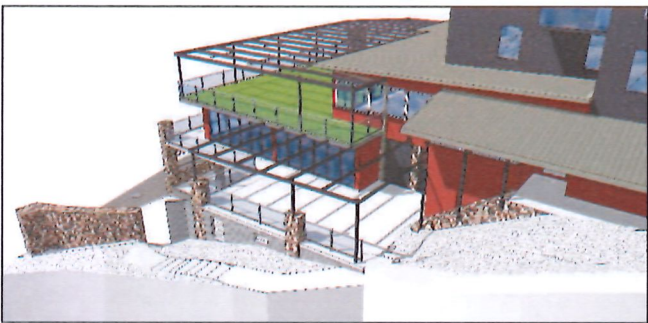
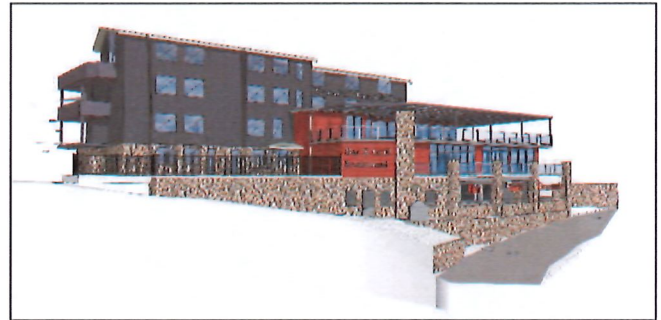


Figure 17: Rear of the existing building



Figure 18: View over top of bar indicating levels of the proposed Level 3 of the development

## 3D Perspectives



## Proposed Signage

Signage is proposed in line with existing and will be located on glass panels between stone pillars facing Mowamba Place also on the new wall facing the street on level 1.

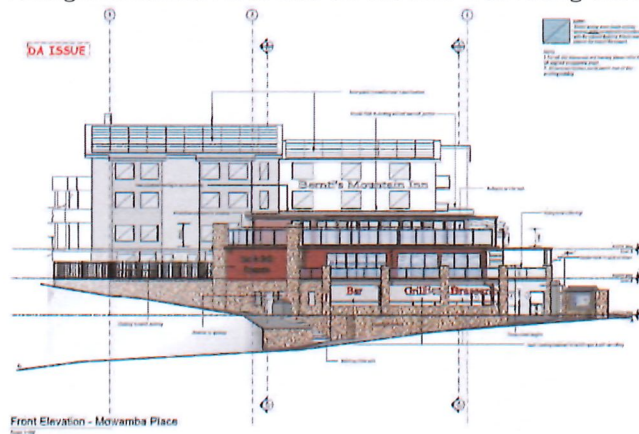


Figure 19: Proposed signage on the façade facing Mowamba Place

## Colour Schedule



Concrete blockwork - Dulux Hammer Grey.



Horizontal linear cladding to match existing.  
Taubman's Mountain Wine.



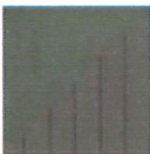
Concrete Blockwork to match existing.  
Monument or similar to matching building.



Natural granite rockwork to match existing.  
Reuse from site.



Basement walls - Rendered - Dulux Mason Grey



To match existing roof material & flashing - Evening Haze  
(Colorbond).



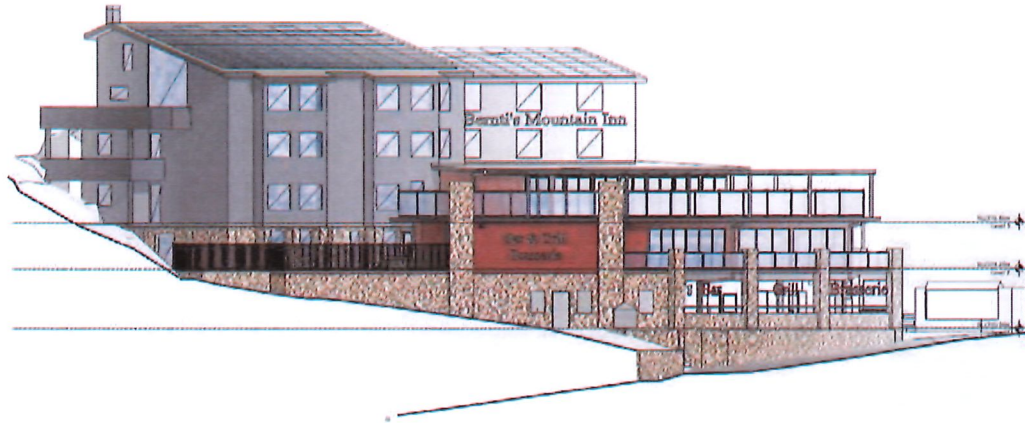
Roof flashing, Downpipes, etc. - Monument (Colorbond).  
To matching existing.



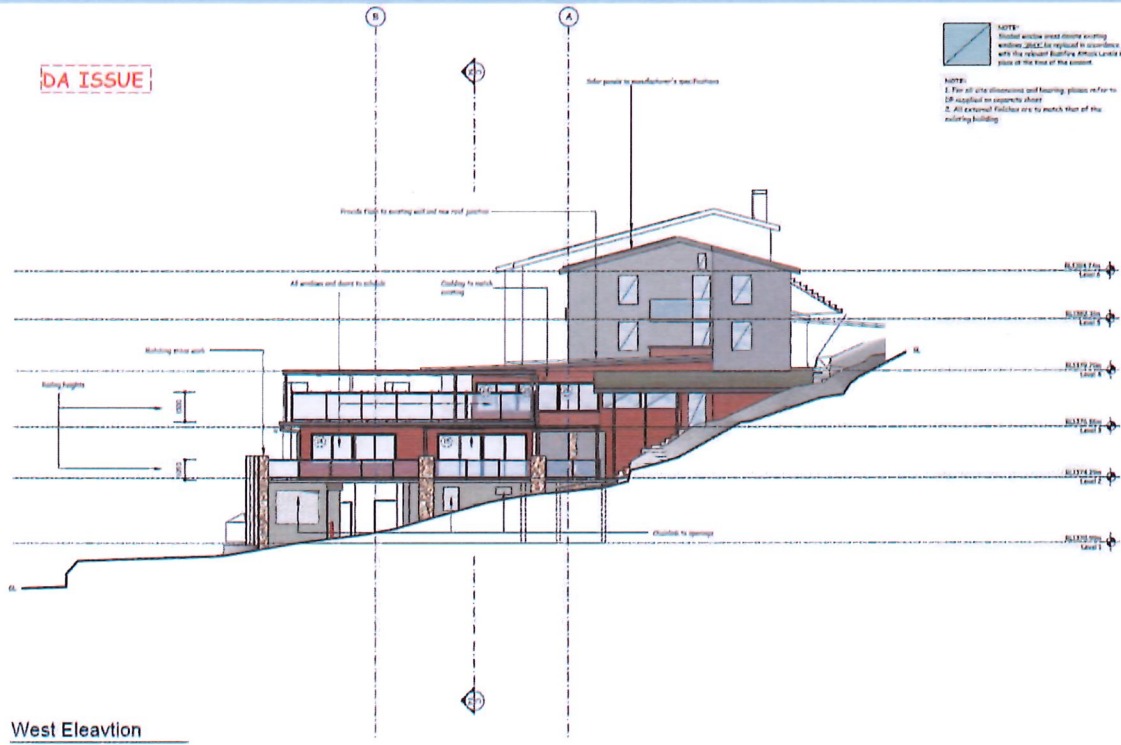
Window frames, Deck railing - Ironstone (Colorbond)

# Elevations

## NORTH ELEVATION

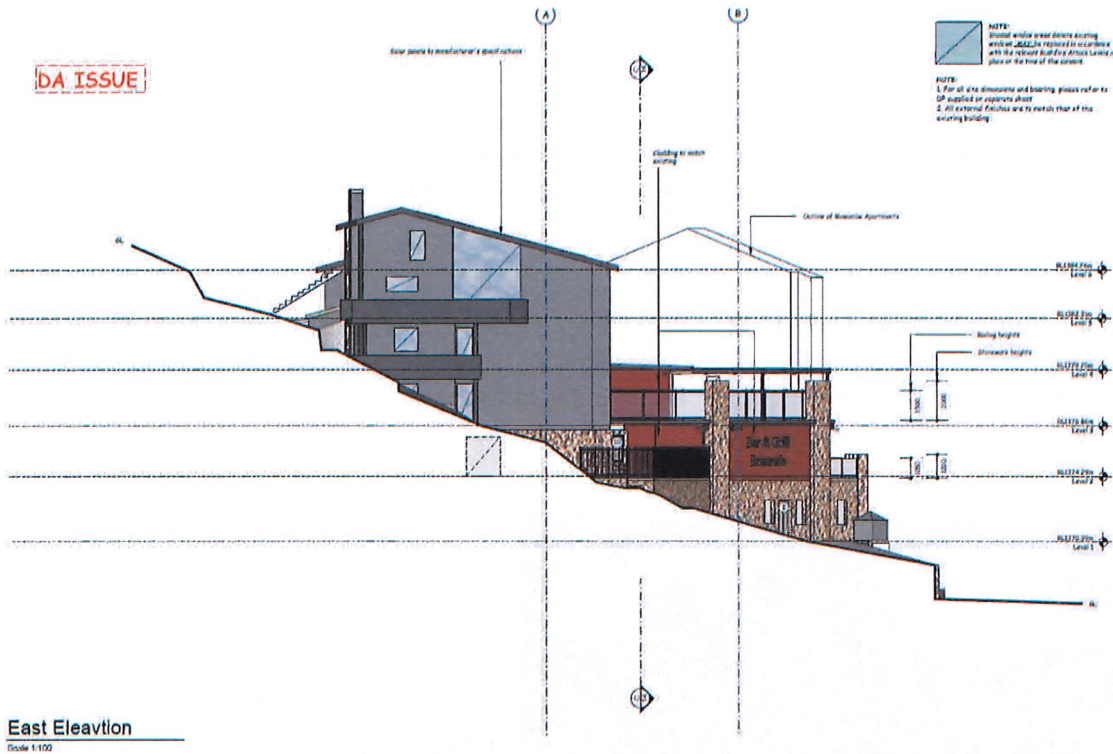


## WEST ELEVATION



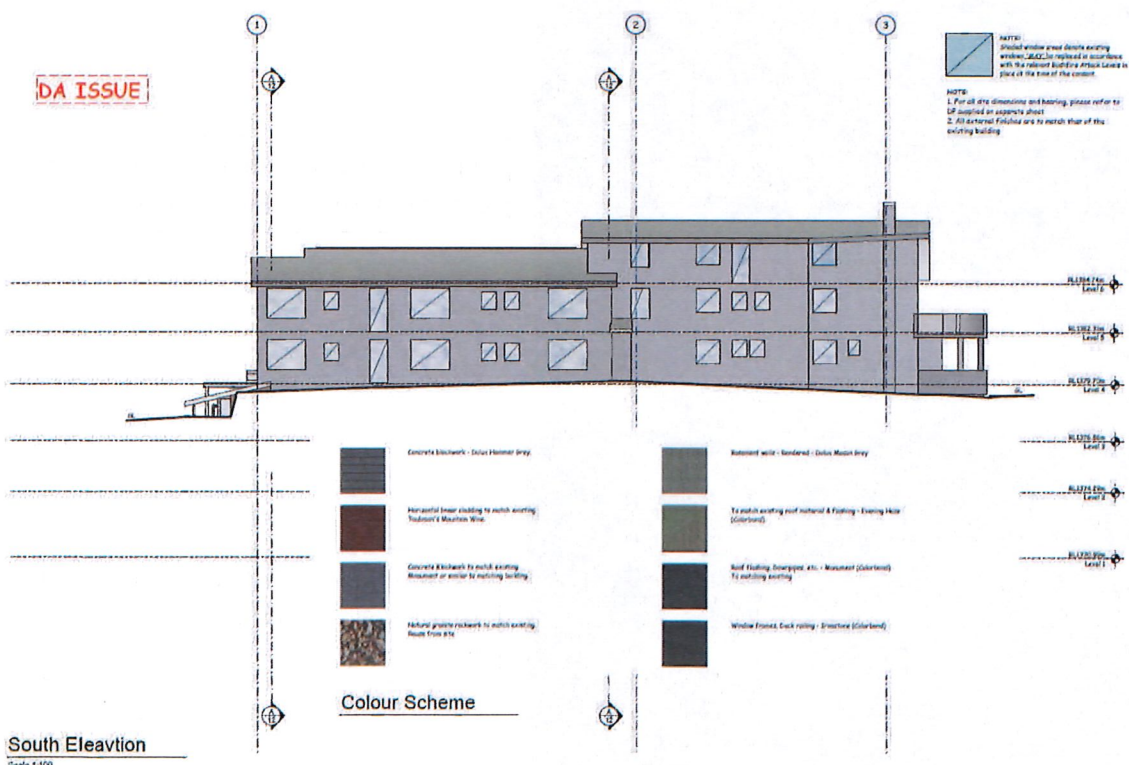


# EAST ELEVATION



East Elevation  
Scale 1:100

# SOUTH ELEVATION



South Elevation  
Scale 1:100

## The Built Form and Character of Adjoining Development

The surrounding buildings, specifically the subject building, The House of Ullr, Mowamba shopping/accommodation complex, are buildings of various architectural styles - typically built 40 years or more ago and presently portraying varying European to local Snowy influenced built form.

The surrounding development is mostly commercial. Given that Thredbo is a ski resort the predominant land use in the area is accommodation such as lodges, Inns, chalets, motels, ski clubs and apartments. There is a definite alpine theme to the architecture in Thredbo. Architecture in the older buildings is influenced by European Ski Resorts, whilst the newer buildings that are located in the new western zone above the chapel and to the eastern end near Friday Flat offer contemporary alpine design features.



House of Ullr north of Bernti's Mountain Inn



Happy Jacks apartments to the east of Bernti's Mountain Inn



Mowamba Apartments complex to the west Bernti's Mountain Inn

## Site Levels, New Building and Adjacent Properties

The context of building levels is demonstrated in the scale elevation drawing views within this report.

These views provide a detailed reference on existing and proposed finished levels information depicting minimal visual impact to the existing outlook from the adjacent existing buildings.

All levels can be back referenced to the surveyor detail survey verifying the accuracy of this information.

These views have been completed in consideration of the most immediate buildings surrounding Bernti's Mountain Inn.



Figure :20 Projected view over bar roof at similar level to proposed level 3 sundeck



Figure 21: The lower level of the proposed development will match that of the existing car park area



Figure 22:View from corner of exiting building looking west down Mowamba Place. Surrounding buildings eg. Happy Jacks will not have any view loss issues resulting from the proposed development



Figure 23:Mowamba apartments will not loose views or privacy due to the development



Figure 24:When viewed from across the river, the additions will not have a negative aesthetic impact upon Thredbo due to the architectural design, material use and colour choice being complimentary to the existing.

# Section 4.15 Environmental Planning & Assessment Act, 1979

## Matters For Consideration — General

In determining a development application, a consent authority must take into consideration the matters referred to in section 4.15 of the Environmental Planning & Assessment Act 1979 as are of relevance to the development:

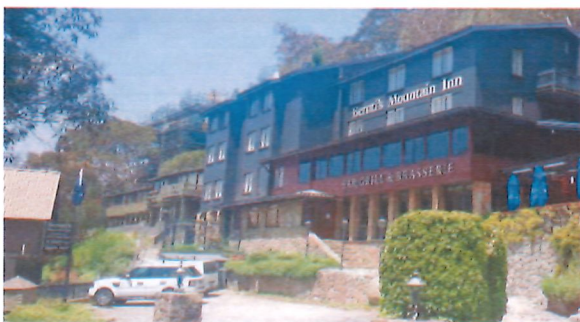
<p><b>4.15(1)(a)(i) the provisions of an environmental planning instrument</b></p> <p>The applicable environmental planning instrument is State Environmental Planning Policy (Kosciuszko National Park — Alpine Resorts) 2007.</p>
<p><b>4.15(1)(a)(ii) the provisions of any proposed environmental planning instrument</b></p> <p>None are applicable to the proposal.</p>
<p><b>4.15(1)(a)(iii) the provisions of an development control plan</b></p> <p>None are applicable to the proposal.</p>
<p><b>4.15(1)(a)(iiia) the provisions of any planning agreement</b></p> <p>None are applicable to the proposal.</p>
<p><b>4.15(1)(a)(iv) the provisions of any Regulations</b></p> <p><u>Clause 92</u> — The proposal involves demolition and a condition is included in Schedule 2 requiring compliance with AS 2601-1991 Demolition of structures. The subject site is not within the coastal zone.</p>
<p><b>4.15(1)(b) the likely impacts of that development</b></p> <p><b>4.15.1 Natural Environment:</b></p> <p>Impacts on the natural environment will be minimal, the proposed additions are contained within the property boundary. The additions will be located where existing ground disturbance has occurred.</p> <p><b>4.15.2 Built Environment:</b></p> <p>The local stonework proposed together with the roof form, floor and deck configurations, energy efficient glazing and building materials give the building a modern look that is intended to add interest as well as complement the surrounding buildings. The overall changes to the built environment is considered of positive influence to the existing building ad locality.</p> <p><b>4.15.3 Social and Economic impacts in the locality:</b></p> <p>The proposed additions and alterations have been designed to minimise any amenity impacts on the neighbouring properties and is not expected to generate any negative social or economic issues. The new building will provide greater amenity to the owners and</p>

guests to the building as well as offering commercial options to the greater Thredbo community and visitors to the area.

The investment in the building resulting in a positive economic impact with a number of short-term construction jobs being generated. Additionally, on a long term basis extra staff will be required at the Inn.

#### 4.15(1)(c) - Site Suitability for the Development

The design and suitability of the additions has been carefully considered by the architect. The siting patterns of the new additions and adjoining lodges has also been carefully considered to ensure that there is no view loss or over shadowing due to the development. The images below show the existing building on the left and the proposed development on the right. Due to the development being lower than the existing roofline and projecting forward towards Mowamba Place, the development will not impact any property behind, beside or in front of the Inn.



It is the owners intention that the new development will significantly enhance the streetscape and scenic quality of the locality whilst ensuring that there are not any negative impacts due to the development.

Stormwater will be connected to the existing stormwater disposal system. Water and wastewater to be connected to existing public infrastructure.

Geotechnical issues have been considered in the geotechnical report submitted with the application.

The proposed development will not create biological or ecological impacts or impacts on the fauna and flora. The building has been designed to address the bushfire considerations required. A separate bushfire report has been submitted as part of this proposal.

#### 4.15(1)(d) – Submissions

The Consent Authority may require that the application be notified to adjoining properties and leasees. Submissions will be able to be made on the NSW Planning and Environment website once the application is on exhibition

#### 4.15(1)(e) – The Public Interest

The development proposal satisfies the objectives of the State Environmental Planning Policy (Kosciuszko National Park – Alpine Resorts) 2007 and is considered positive in terms of the public interest.

## Other Matters for Consideration

### Present and previous uses

The present use of the site is as a 4 storey and loft, commercial ski lodge/hotel with a floor area of 1600m<sup>2</sup> and 60 bed licenses. There is a tapas bar/Cafe as well as an al la carte restaurant.

The site is not known to be contaminated.

### Operational details

Under the current arrangement, the existing Inn has 60 bed licenses.

Fully licensed Café/tapas bar

Bernti's Restaurant with seating for 94 seats

Informal car parking for 7 persons

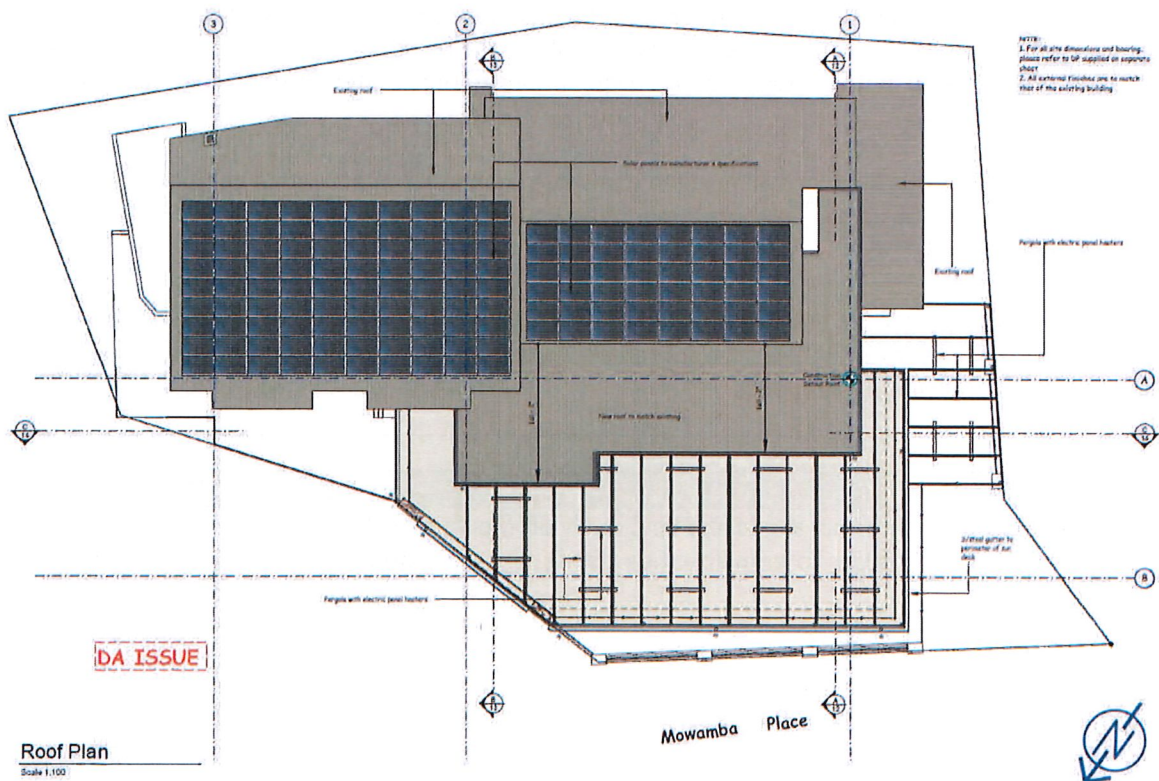
### Building classification and Building Code of Australia (BCA)

The building code classification is class 3 and class 6.

### Snow Deposition

The roof structure and pitch has been designed to reduce snow build up. The balustrade will be 75% enclosed to comply with the building code requirements. The concrete decks will be provided with non-slip surface treatment with the top sundeck being heated to allow for faster snow melt.

All entries and exits and pedestrian areas have been designed adequately to reduce the likely hood of snow falling onto these areas.



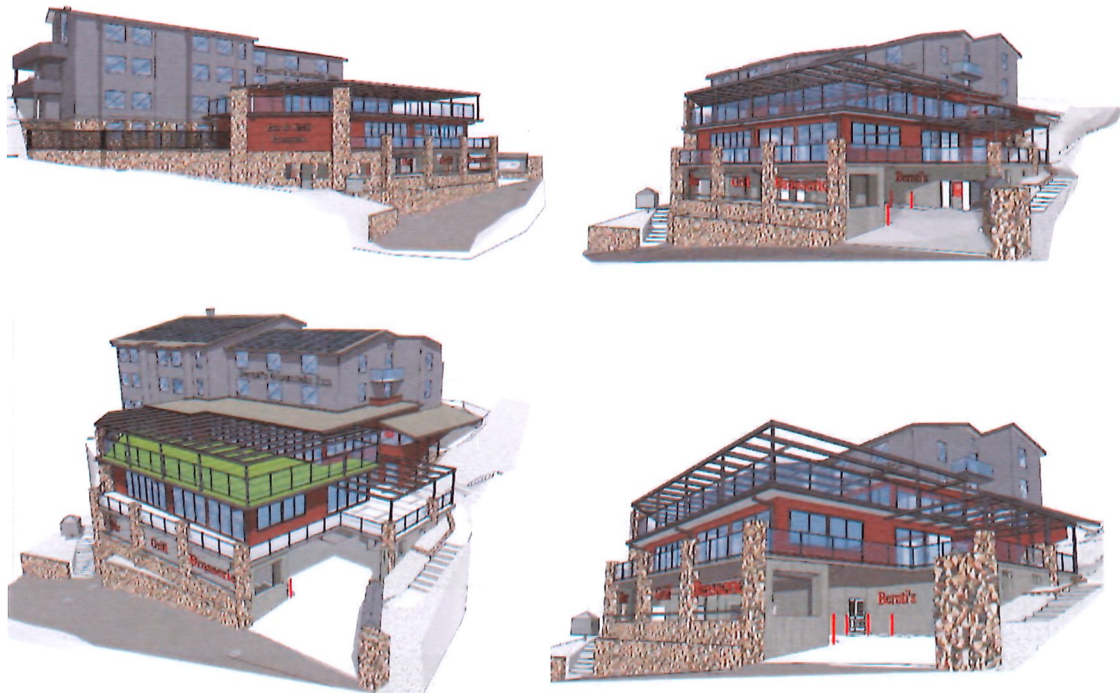


Figure 25: Perspective images indicating roof

#### Engineering Details

Geotechnical report and Engineering Details to be provided with Development Application

#### Social and Economic Impact

The proposed additions and alterations have been designed to minimise any amenity impacts on the neighbouring properties and is not expected to generate any negative social or economic issues. The new building will provide greater amenity to the owners and guests to the building as well as offering food and beverage (commercial) options to the greater Thredbo community and visitors to the area.

The investment in the building will result in a positive economic impact with a number of short-term construction jobs being generated. Additionally, on a long term basis extra staff will be required at the Inn.

The new design presents a more rewarding alpine vernacular presence and will provide it's visitors with a retreat that reflects the contemporary nature of the place and the unique year-round alpine and winter experience.

#### Access and Traffic

Road access will remain unchanged and be directly off Mowamba Place.

The development proposes to formalize the existing carparking area that can accommodate 7 cars.





Figure 26: Image of existing access off Mowamba Place

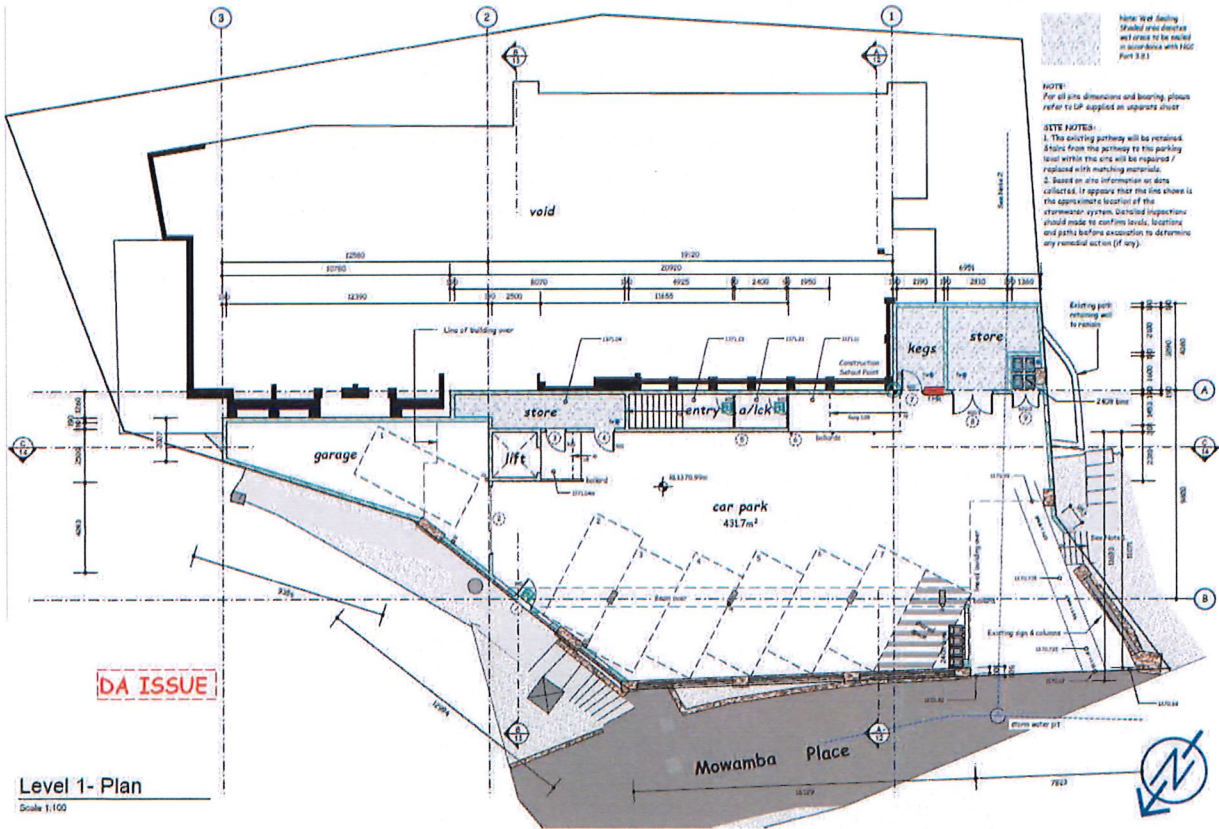


Figure 27: Site plan showing access arrangements and carparking

### Access for People with Disabilities

Access for people with disabilities has been provided in accordance with AS1428.1 to the upper floors and details are to be provided within the Building Code of Australia Report by Complete Certification.

### Privacy, Views and Overshadowing

The design and suitability of the additions has been carefully considered by the architect. The siting patterns of the new additions and adjoining lodges has also been carefully considered to ensure that there is no view loss or over shadowing due to the development.

Due to the development being lower than the existing roofline and projecting forward towards Mowamba Place, the development will not impact any property behind, beside or in front of the Inn.

### Air and Noise

The proposed development will not create any air or noise pollution.

Construction noise will be kept to a minimum and occur only during the permissible hours of operation and in compliance with the EPA guidelines.

To reduce noise pollution from site the following procedures will be followed:

- All plant, machinery and tools will be maintained in good working order at all times;
- Work involving noisy tools or machinery to be used inside the building structure when possible;
- Strict hours of operation for each site will be implemented to reduce noise pollution to the surrounding areas;
- In the instance of receiving a complaint in regards to noise levels immediate rectification will occur as far as practical.
- No fuel or chemicals will be stored onsite during construction.

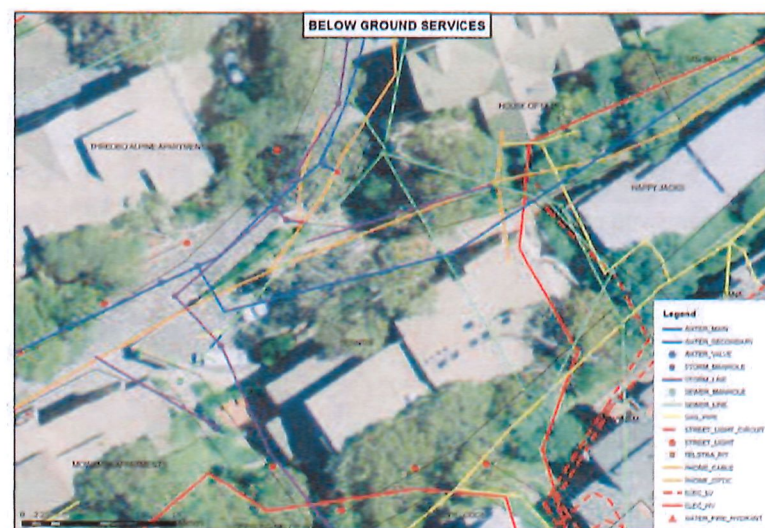
### Soil, Water and Wastewater Management

Refer to Environmental Site Management Plan

There will be minimal soil disturbance during construction.

Water is available to the site from public infrastructure.

Wastewater to be connected to public infrastructure (see diagram below)



Heritage
N/A to this development

Aboriginal Cultural Heritage
AHIMS search did not identify any significant items on the site

Energy
Refer to section J report provided as part of the development approval documentation.

Demolition
Demolition of the existing building will be undertaken in accordance with workcover requirements and Australian Standard AS2601-2001 The Demolition of structures

## State Environmental Planning Policy (Kosciuszko National Park—Alpine Resorts) 2007

Clause 14 Matters to be Considered by Consent Authority	
(1) In determining a development application that relates to land to which this Policy applies, the consent authority must take into consideration any of the following matters that are of relevance to the proposed development:	
(a) the aim and objectives of this Policy, as set out in clause 2,	The proposed development has been designed to ensure the impacts on the built and natural environment are minimal and is consistent with the aims and objective set out in clause 2 of the SEPP.
(b) the extent to which the development will achieve an appropriate balance between the conservation of the natural environment and any measures to mitigate environmental hazards (including geotechnical hazards, bush fires and flooding),	Geotechnical hazards have been addressed via the geotechnical report provided, bushfire assessment if provided. Flooding is not applicable.

<p>(c) having regard to the nature and scale of the development proposed, the impacts of the development (including the cumulative impacts of development) on the following:</p> <ul style="list-style-type: none"> <li>(i) the capacity of existing transport to cater for peak days and the suitability of access to the alpine resorts to accommodate the development,</li> <li>(ii) the capacity of the reticulated effluent management system of the land to which this Policy applies to cater for peak loads generated by the development,</li> <li>(iii) the capacity of existing waste disposal facilities or transfer facilities to cater for peak loads generated by the development,</li> <li>(iv) the capacity of any existing water supply to cater for peak loads generated by the development,</li> </ul>	<p>The development proposal will increase the footprint of the existing building, however the existing bed numbers will not be increased.</p> <p>Existing transport remains unchanged due to the development.</p> <p>The effluent services will be able to accommodate additional loads due to the development.</p> <p>The existing waste disposal facilities will be able to accommodate additional peak loads generated by the development.</p> <p>Water supply services will be able to accommodate additional peak loads generated by the development.</p>
<p>(d) any statement of environmental effects required to accompany the development application for the development,</p>	<p>SEE provided</p>
<p>(e) if the consent authority is of the opinion that the development would significantly alter the character of the alpine resort—an analysis of the existing character of the site and immediate surroundings to assist in understanding how the development will relate to the alpine resort,</p>	<p>The intent of the proposed development is to extend the existing building with consistent architectural design.</p> <p>The proposal is consistent with the general character of the village feel of this part of Thredbo Village.</p> <p>The façade of the development above Mowamba Place will consist of natural granite rockwork to match the existing retaining wall, which is a key feature of the building. The stonework is also continued in sections surrounding the development.</p> <p>The roof form, floor and deck configuration, energy efficient glazing and innovative building materials give the building a modern look that is intended to add interest as well as complement the surrounding buildings.</p>
<p>(f) the <i>Geotechnical Policy—Kosciuszko Alpine Resorts</i> (2003, Department of Infrastructure, Planning and Natural Resources) and any measures proposed to address any geotechnical issues arising in relation to the development,</p>	<p>Geotechnical report provided</p>

(g) if earthworks or excavation works are proposed—any sedimentation and erosion control measures proposed to mitigate any adverse impacts associated with those works,	Sedimentation and erosion control measures will be provided in accordance with the Environmental site management plan.
(h) if stormwater drainage works are proposed—any measures proposed to mitigate any adverse impacts associated with those works,	Stormwater is to connect to the existing disposal method.
(i) any visual impact of the proposed development, particularly when viewed from the Main Range,	The proposed development has been designed to complement the surrounding built form.
(j) the extent to which the development may be connected with a significant increase in activities, outside of the ski season, in the alpine resort in which the development is proposed to be carried out,	The new building is expected to create a significant increase in activities outside of the ski season.
(k) if the development involves the installation of ski lifting facilities and a development control plan does not apply to the alpine resort: <ul style="list-style-type: none"> <li>(i) the capacity of existing infrastructure facilities, and</li> <li>(ii) any adverse impact of the development on access to, from or in the alpine resort,</li> </ul>	Not applicable

(2) The <i>long term management goals</i> for riparian land are as follows:	
(a) to maximise the protection of terrestrial and aquatic habitats of native flora and native fauna and ensure the provision of linkages, where possible, between such habitats on that land, (b) to ensure that the integrity of areas of conservation value and terrestrial and aquatic habitats of native flora and native fauna is maintained, (c) to minimise soil erosion and enhance the stability of the banks of watercourses where the banks have been degraded, the watercourses have been channelised, pipes have been laid and the like has occurred.	Not located in a riparian corridor.

# State Environmental Planning Policy (Kosciuszko National Park—Alpine Resorts) 2007

Clause 15 Additional matters to be considered for buildings	
<p><b>Building height</b> In determining a development application for the erection of a building on land, the consent authority must take into consideration the proposed height of the building (where relevant) and the extent to which that height:</p>	
<p>(a) has an impact on the privacy of occupiers and users of other land, and</p> <p>(b) limits solar access to places in the public domain where members of the public gather or to adjoining or nearby land, and</p> <p>(c) has an impact on views from other land, and</p> <p>(d) if the building is proposed to be erected in Thredbo Alpine Resort—has a visual impact when viewed from the Alpine Way, and</p> <p>(e) if the building is proposed to be erected in Perisher Range Alpine Resort—needs to be limited so as to assist in maintaining the skyline when viewed from Kosciuszko Road and any other public roads, and</p> <p>(f) if the building is proposed to be erected in an alpine resort other than Thredbo Alpine Resort or Perisher Range Alpine Resort—is similar to existing buildings in the resort where it is proposed to be erected, and</p> <p>(g) if the building is proposed to be erected in Bullocks Flat Terminal—relates to the topography of its site.</p>	<p>The potential impacts of privacy to occupiers and adjoining properties has been a key component of the design process. The new function rooms and deck will look directly over the top of the Thredbo Alpine Apartments towards the Thredbo Ski Fields therefore not creating any issues regarding privacy. To the west the Mowamba Apartments do not have windows facing the proposed development (see image below).</p>  <p>The orientation of the building is towards the Thredbo Ski fields and is not directed towards any other building.</p> <p>Due to the development being lower than the existing roofline and projecting forward towards Mowamba Place, the development will not impact any property behind, beside or in front of the Inn.</p> <p>The development will not be visible from the Alpine Way.</p> <p>The solar impact in relation to overshadowing created by the new additions onto the adjoining buildings is non-existent as there will be no overshadowing.</p>

## Building Setback

In determining a development application for the erection of a building on land, the consent authority must take into consideration the proposed setback of the building (where relevant) and the extent to which that setback:

- (a) assists in providing adequate open space to complement any commercial use in the alpine resort concerned, and
- (b) assists in achieving high quality landscaping between the building and other buildings, and
- (c) has an impact on amenity, particularly on view corridors at places in the public domain where members of the public gather, and
- (d) is adequate for the purposes of fire safety, and
- (e) will enable site access for pedestrians, services (including stormwater drainage and sewerage services) and the carrying out of building maintenance, and
- (f) will facilitate the management of accumulated snow.

The additions have been designed to be located above an area that has historically been utilized as car parking on the site. The proposal to formalize the gravel carpark and build above is considered a suitable use of the site and of positive influence to the existing business.

There is minimal provision for landscaping on the site due to the footprint of the dwelling encompassing a large percentage of the site.

The impacts on amenity and view sharing and corridors has been carefully considered in the design process as demonstrated in the paragraphs above.

Adequate separation is provided between property boundaries for the purposes of fire safety, site access, services and building maintenance.

The management of accumulated snow has also been considered in the proposed design. The rooftop deck shall have a heated floor to allow for snow melt in peak winter events.

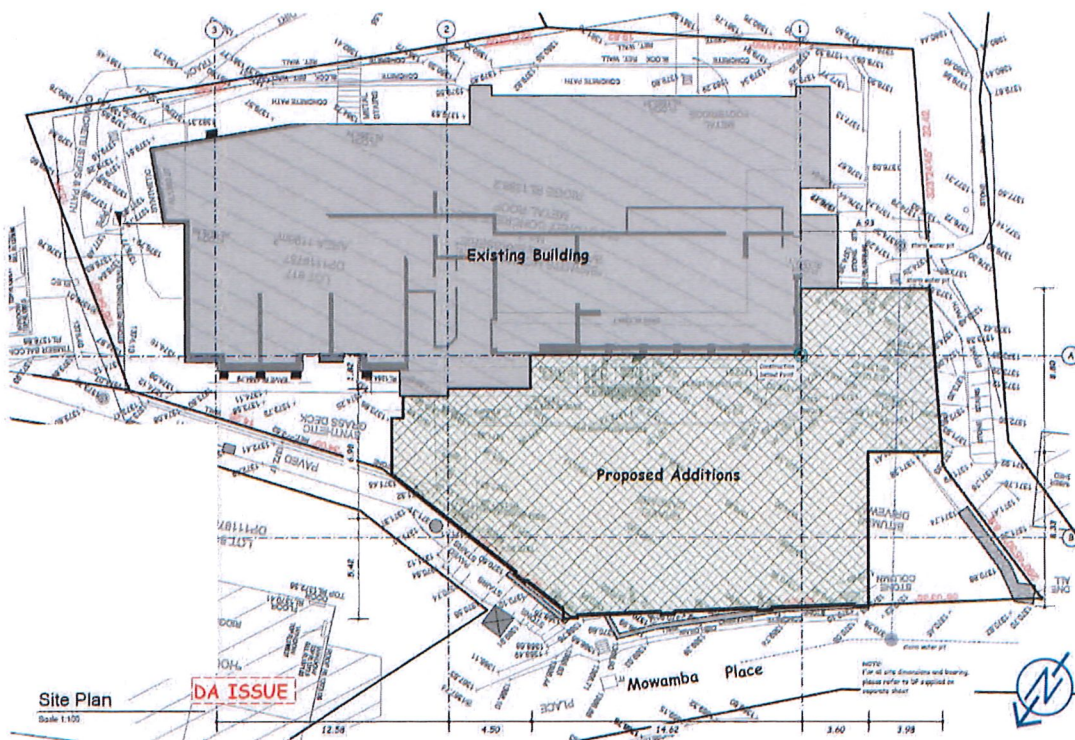


Figure 28: Proposed building setbacks

**Landscaped Area**

In determining a development application for the erection of a building on land, the consent authority must take into consideration (where relevant) the extent to which landscaping should be used:

- a) as a means of assisting in the protection of the unique alpine environment of the alpine resort concerned, and to maximise its natural visual amenity, for the benefit of visitors and natural ecosystems, and
- (b) to assist in the provision of adequate open space to complement any commercial use in the alpine resort concerned, and
- (c) to limit the apparent mass and bulk of the building, and
- (d) as an amenity protection buffer between the proposed building and other buildings, and
- (e) as a means of reducing run-off, and
- (f) to protect significant existing site features and limit the area of any site disturbed during and after the carrying out of development.

All of these items have been taken into consideration for the design of the proposed landscaping.

There is provision for landscaping at the rear of the existing building.



## Site Environmental Management Plan (SEMP)

As detailed in the Statement of Environmental Effects, the proposed alterations will generate minimal impacts.

- Minimal site clearing activity will occur through this project.
- No flow paths will be altered as a result of this development.
- Scaffolding will be erected at natural ground level (directly underneath the proposed deck location) during the construction phase in order to reach the proposed construction zone.
- Construction vehicles will enter the site via the existing site entry.
- Construction vehicles will park in the sites existing designated car parks.
- All construction materials will be stored within the existing site car parking zone.

### Dust Control

Works involving dust dispersion will use water spray to help keep material damp and dust down. Covers will be placed over waste storage areas and piles of excavated materials to prevent dust dispersion. When transporting materials that cause dust they will be dampened and covered before moving.

### Litter Control

Litter control around the site is the responsibility of all on site. A daily site clean up to reduce litter around the site and prevent any possible hazards it causes will be performed. It is the subcontractor's responsibility to leave the work area neat, clean and free of litter. Litter collected can be placed in bins or specified areas and disposed of at the local council tip.

### Emergency Procedures

In case of an emergency, the following key emergency response contacts are:

Organisation	Emergency Phone	Non Emergency Phone
NSW Police	000	Jindabyne: 6456 2244
NSW Fire and Rescue	000	Thredbo: 6456 2476 Jindabyne: 6456 2476
NSW Ambulance	000	Thredbo: 13 12 33
Medical Centres	Thredbo: 6457 6254	Jindabyne: 6457 1221
National Parks and Wildlife Service (NPWS)/OEH	1800 629 104	Snowy Region: 6450 5600 Jindabyne: 6450 5555
Roads and Maritime Services	Traffic incidents & road conditions: 131 700 Road closures and special events: 132 701	
Environment Protection Authority Environment Line	131 555	
NRMA Road Service	Jindabyne: 6456 1159	

### Noise control

Noise on a construction site can become a form of pollution to the local environment through the use of plant, machinery and tools. For protection of employees and visitors to the site they are issued with PPE including ear protection.

To reduce noise pollution from site the following procedures will be followed:

- All plant, machinery and tools will be maintained in good working order at all times;
- Work involving noisy tools or machinery to be used inside the building structure when possible;
- Strict hours of operation for each site will be implemented to reduce noise pollution to the surrounding areas
- In the instance of receiving a complaint in regards to noise levels immediate rectification will occur as far as practical.

